# LEGISLATIVE SUMMARY Mayor's Office of Capital Projects Division of Engineering and Construction

Encroachment into the public right-of-way of West 25<sup>th</sup> Street by installing, using and maintaining two metal canopies supported by four metal columns as well as metal railings with wood caps.

Ordinance Number:

213-2022

Description:

Authorizing the Director of the Mayor's Office of Capital Projects to issue a permit to The Goat My

Place, LLC to encroach into the public right-of-way

of West 25<sup>th</sup> Street by installing, using and maintaining two metal canopies supported by four metal columns as well as metal railings

with wood caps.

Purpose

To create an outdoor space for patrons at 1880 West

25th Street 44113.

A consent form acknowledging approval of this

request will be forthcoming from the Council Member

Ward:

Ward 3 Council Member Kerry McCormack

## OVERALL SCALE 20 ( IN FEET ) 1 inch = 20 ft.NOVEMBER 3, 2021

### **SKETCH TO ACCOMPANY LEGAL DESCRIPTION** OF A SIDEWALK ENCROACHMENT For THE GOAT MY PLACE LLC.

SITUATED IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA AND THE STATE OF OHIO AND KNOWN AS BEING Z S FEET

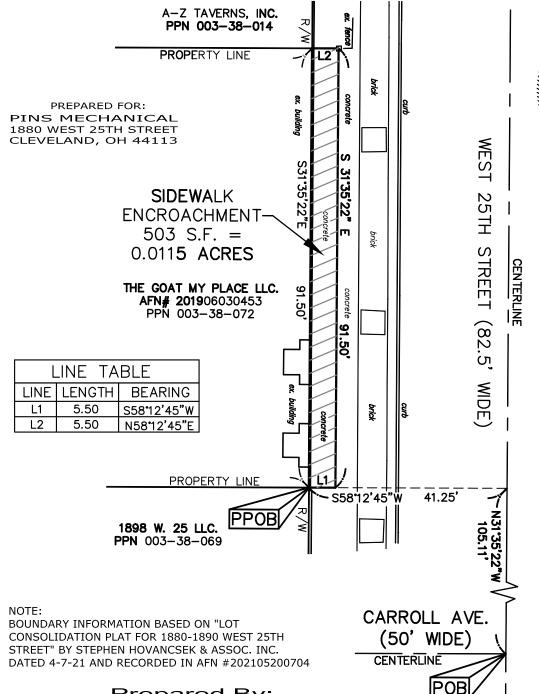
Z S FEET

RUP

RUP

S S PART OF ORIGINAL BROOKLYN TOWNSHIP LOT NO. 70, ALSO BEING PART OF WEST 25TH STREET (82.5 FEET WIDE).

ONAL SUR INTERIOR



### Prepared By:



**HESS & ASSOCIATES** ENGINEERING INC.

12121 Kinsman Road Newbury, Ohlo 44065 Tel (440)564-8008 Fax (440)564-8176

### SCHWARTZ LAND SURVEYING INC.

RUDY E. SCHWARTZ PROFESSIONAL SURVEYOR 12121 KINSMAN ROAD NEWBURY, OHIO 44065 440-564-8174 Fax: 440-564-8285

# Pins/16 Bit, Cleveland, Ohio City

### OWNER

### Rise Brands 134 East Long St. Columbus, Ohio 43215 Tel: (614) 754-7522 Matt Dunlap matt@risebrands.com

### ARCHITECT

### Design Collective Architecture 151 Fast Nationwide Blvd Columbus, Ohio 43215 Tel: (614) 464-2880 Randy Roberty rroberty@dcollective.com

### STRUCTURAL ENGINEER

### Jezerinac Geers and Associates 5640 Frantz Rd. Dublin, Ohio 43017 Tel: (614) 766-0066 Robert Vucich rvucich@jgaeng.com

### MEP ENGINEER

### Prater Engineering Associates 6130 Wilcox Rd. Dublin, Ohio 43017 Tel: (614) 766-4896 Jack Evans iackevans@praterengr.com

| My Place Group             |
|----------------------------|
| 2019 Center St., Suite 101 |
| Cleveland, Ohio 44113      |
| Tel: (216) 544-3822        |
| Chad Kertesz               |
| chad@myplacecleveland.com  |

DRAWING SHEET INDEX

ARCHITECTURAL

### Design Collective

### GENERAL CONTRACTOR

# (1) 0

# Permit Set





City Ohio

Cle ш ä

BISANDS BINSANDS Pins/16 E Rise Brand 1880 W 25t Cleveland, 1

| #  | Description     | Date |
|----|-----------------|------|
| _  |                 |      |
| -  |                 | +    |
|    |                 | +    |
|    |                 |      |
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|    |                 |      |
| ыг | FIAL ISSUE DATE |      |
| _  | TIAL ISSUE DATE |      |
| _  | 19/2021         |      |
| 3/ |                 |      |

Title Sheet

U

### BAR+ARCADE

868886

### GENERAL CONSTRUCTION NOTES All work will comply with any and all fire and salety codes, or with any federal, state, county or municipal codes having piradiction. All applicable requirements in these regulations will apply to the work shown herein, whether specifically incided as such or not. Conflict between works set forth herein and any codes, laws or regulations shall be brought to the attention of the Architect prior to proceeding with any work.

- The organization or arrangement of these drawings and/or accompanying specifications is for convenience only, see also shorted to contracts for responsibility of delivering a complete functioning project, of supervising the contraction of the contract for responsibility of the contract of the contraction of the co

- The Contractor will post material safety data (MSD) sheets on the jobsite for any hazardous materials in compliance with federal, state and local authorities.

- The Contractor is to remove all debris and leave all areas broom clean at the end of each work day, and protect
  any portion of existing work to remain or work previously installed.

- 17. Level of drywall finishes (as specified in ASTM C840):

### CONSTRUCTION SUBMITTALS

- 1. Provide all submittals in advance of installation for proper review by Architect & Owner.
- 2. Allow at least 10 working days for Architect review time.

- The Contractor is to submit product data sheets for any catalog items including any and all building standard items called for on the drawings.
- Substitutions to items specified in these Contract Documents should be made only prior to bidding. If the Owner authorizes the Architect to review a substitution after bidding, the Item must be submitted separately and clearly identified as a substitution and <u>negl</u> included within another submission or it will be rejected.

### SPECIAL INSPECTIONS AND TESTING

Special inspections are required within the scope of the project, Refer to the attached special inspection statement and sheet S0.0 for a list of required inspection types, A third party agency shall be used.

### ASBESTOS/HAZARDOUS MATERIALS DISCLAIMER

The Architect hereby states, and the Owner acknowledges, that the Architect has no profess and omissions or other insurance, and is unable to reasonably obtain such insurance, for claim performance of or failure to perform professional services, including but no limited to the performance of a reasonable professional services, including but no limited to the proceedings, drawings and specifications, related to the investigation, detection, abatement, replaymorbutist, materials, or processes containing absorbed on hazardous materials, or processes containing absorbed on hazardous materials, or processes containing absorbed on hazardous materials.

### COMMON ABBREVIATIONS

| الاال | MON ABBREVIATIONS     |       |                             | 3D VIEW  |
|-------|-----------------------|-------|-----------------------------|--|
| ,     | Above                 | Jan   | Janitor                     | 100 600 Mark 100 mark |
| ust   | Acoustic(al)          | JT    | Joint                       |  |
|       | Adjustable            |       |                             |  |
|       | Above finish floor    | KO    | Knock-out                   | Control of the second of the s |
| m     | Aluminum              | KP    | Kick plate                  |  |
|       | Bottom of curb        | Lab   | Laboratory                  |  |
|       | Board                 | Lam   | Laminate                    |  |
| ,     | Blocking              | Lav   | Lavatory                    | DOMESTIC OF THE PARTY OF THE PA |
| ,     | Distring              | Lkr   | Locker                      | State State Company of the Company o |
|       | Cabinet               | Lpc   | Laminated plastic covered   | the state of the state of  |
|       | Carpet                | Lgt   | Light                       |  |
| n     | Cement                | LP.   | Low Point                   | TOTAL TOTAL CONTRACTOR   |
|       | Corner guard          | LP    | Low Point                   | A STATE OF THE PARTY OF THE PAR |
|       |                       |       |                             |  |
|       | Control joint         | Max   | Maximum                     |  |
|       | Centerline            | MDO   | Medium density overlay      |  |
|       | Ceiling               | Mech  | Mechanical                  |  |
|       | Clear                 | Mfr   | Manufacturer                |  |
| u     | Concrete masonry unit | Min   | Minimum                     |  |
|       | Column                | Misc  | Miscellaneous               |  |
| st    | Construction          | Midg  | Moulding                    |  |
| t.    | Continuous            | Mrgwb | Moisture resistant GWB      |  |
|       | Center                |       |                             |  |
|       |                       | N     | North                       |  |
|       | Double                | N/A   | Not applicable              |  |
| no    | Demolish/ Demolition  | NIC   | Not in contract             |  |
|       | Department            | No    | Number                      | PROJECT LOCATION MAP   |
|       | Diameter              | Nom   | Nominal                     | THOUSE TEOCHTON  |
| 1     | Diagonal              | NRC   | Noise reduction Coefficient |  |
|       | Dimension             | NTS   | Not to Scale                | Darke<br>Calestrani  |
| •     | Dispenser             |       |                             |  |
|       | Down                  | O/C   | On center                   | F 2011419  |
| 1     | Drawing               | OD    | Outside diameter            | **************************************   |
|       | Each                  | Plwd  | Plywood                     | ф эски   |
|       | Elevation             |       |                             | tomboths classified Plantics Control of Website Plantics   |
|       | Electric(al)          | R     | Radius/ Riser               | Telepope   |
|       | Equal                 | Ref   | Refer/ Reference            | Claveland  |
| ip    | Equipment             | Reinf | Reinforced                  | gram Contain 2s.   |
| ī     | Existing              | Rm    | Room                        | 7549-41 7  |
| •     | Exterior              | RO    | Rough Opening               |  |
|       | Exercise .            | AC.   | Rough Opening               | SITE L   |
|       |                       |       |                             |  |

Yard, Yard drain

### NOTICE TO BIDDERS

### ADD ALTERNATES

|           | Sprinklered                                |           |                                 | Nonsprinklered                             |           |                                 |
|-----------|--|-----------|---------------------------------|--|-----------|---------------------------------|
| Group     | Exit enclosures<br>and exit<br>passageways | Corridors | Rooms and<br>enclosed<br>spaces | Exit enclosures<br>and exit<br>passageways | Corridors | Rooms and<br>enclosed<br>spaces |
| A-1 & A-2 | В  | В         | c                               | A  | IA .      | В                               |

FLOORING REQUIREMENTS:

-Floors shall be class I in groups I-1, I-2 and I-3. They are permitted to be reduced to class II if building is equipped throughout with an automatic sprinkler system.

-Floors shall be a minimum of class II in groups A, B, E, H, I-4, M, R-1, R-2 and S. -All floor covering materials shall comply with the DOCFF-a 'Pill Test'

-Class I: 0.45 watts/cm2 or greater. -Class II: 0.22 watts/cm² or greater,

### PROJECT DESCRIPTION

### APPLICABLE BUILDING CODES

BUILDING INFORMATION

| BUILDING:                      | 1880 W 25th St.                    |
|--------------------------------|------------------------------------|
| Parcel ID #:                   | 003-38-015                         |
| No. Storeys:                   | 3 (Basement/Floor 1/Floor 2)       |
| Use/Occupancy Classifications: | A2                                 |
| Intended Use:                  | Bar                                |
| Construction Types:            | III-B                              |
| Fire Suppression:              | Yes - fully sprinklered throughout |
| Fire Alarm:                    | Yes                                |
| HEIGHTS AND ARI                | TAC                                |
|                                |                                    |

(Named Floor 0 in this drawing set)

| Fibors | rand 2 - seeman unchanged per scope of fit-out. |
| Total Gross Area (Bulding): | Fibor 0 = 10,592 SF |
| Fibor 2 = 4,835 SF |
| Fibor 2 = 4,835 SF |
| Fibor 3 = 5,947 SF |
| Fibor 4 = 5,947 SF |
| Fibor 5 = 5,947 SF |
| Fibor 6 = 5,947 SF |
| Fibor 6 = 5,947 SF |
| Fibor 6 = 5,947 SF |
| Fibor 7 = 5,947 SF |

| Per Table 601:                              |   |
|---|---|
| Structural Frame:                           | 0   |
| Roof:                                       | 0   |
| Floor construction:                         | 0   |
| Exterior Walls (Non-Loadbearing) table 602: | North and South existing 2hr masonry Party Wall/Fire Wall |
| Interior Walls (Non-Loadbearing):           | 0   |
| Exterior Walls (Loadbearing):               | 2 (None present in scope of project)                      |
| Interior Walls (Loadbearing):               | 0   |
| -Vertical Circulation:                      | 2hrs  |
| -Fire barriers or partitions present:       | Yes, Refer to Life Safety Plan                            |
| -Fire walls present:                        | Yes. Refer to Life Safety Plan                            |

- Firebbocking shall be installed in the following locations:

  Concealed spaces of study walls and partitions, including future or studed-or pages or masonary walls and at the ceiling and floor or roll eriver. Enterophing in not required at the ceiling and floor or roll eriver. Enterophing is not required at the ceiling and the passes constructed of noncombabilise materials.

  Freebbocking shall be installed at all enteroprections between vertical & horizontal spaces such as occur at Freebbocking shall be installed at openings around verits, pipes and at ceiling 8. floor levels with approved noncombability limited materials.

### OCCUPANCY CALCULATIONS

| Floor 0:   |     | Floor 1:   |     | Floor 2    |    | Overall:   |     |
|------------|-----|------------|-----|------------|----|------------|-----|
| Interior - | 225 | Interior - | 429 | Interior - | 41 | Interior - | 69  |
| Exterior - | . 0 | Exterior - | 22  | Exterior - | 0  | Exterior - | 22  |
| Total -    | 225 | Total -    | 451 | Total -    | 41 | Total -    | 717 |

| EGRESS CALCU                             | LATIONS  |
|--|--|
| Max Travel Distance:<br>Exit Separation: | 250' Allowed, Refer to Life Safety Plan for actual<br>1/3 max diagonal allowed per fully sprinklered condition |
| REQUIRED EGRESS WIDTH: 0,2               | "per occupant for stairs and 0.15" per occupant for other egress components.                                   |

Floor 0 = Stairs - 0.2 x 225 Occupants = 45" (44" min. clear width required at each stair)
Other Components - 0.15 x 225 Occupants = 34" Floor 1 = 0.15" x 695 Total Interior Occupants = 105" (Primary entrance must accommodate 50% per 1029.2"

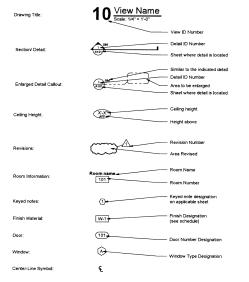
### Floor 2 = Stairs - 0.2 x 41 Occupants = 9" (44" min. clear width required at each stair) Other Components - 0.15 x 41 Occupants = 7"

| Door #013               | 34" Clear (Primary)   | 226 person capacity |
|-------------------------|-----------------------|---------------------|
| Interior Exit Stair # 1 | 48" Clear (Primary)   | 240 person capacity |
| Exit Access Stair #2    | 60" Clear (Secondary) | 300 person capacity |
| Exit Access Stair #3    | 60" Clear (Secondary) | 300 person capacity |
| Floor 1:                |                       |                     |
| Door 101;               | 70" Clear (Primary)   | 466 person capacity |
| Door 106:               | 34" Clear (Secondary) | 226 person capacity |
| Door 111a;              | 50" Clear (Secondary) | 333 person capacity |
| Door 111b:              | 50" Clear (Secondary) | 333 person capacity |
| Floor 2:                |                       |                     |
| Door # 201              | 34" Clear (Primary)   | 226 person capacity |
| Interior Exit Stair # 1 | 48" Clear (Primary)   | 240 person capacity |

### PLUMBING FIXTURE CALCULATIONS

| Total Occupancy:   | 717 (359 per sex)          | PROVIDED:            |                                       |
|--------------------|----------------------------|----------------------|---------------------------------------|
| rotal Goodparicy.  | 7 17 (000 pc) sex)         | Men:                 | WC - 9 (5WC & 4Urinal)                |
| REQUIRED:          |                            |                      | LAV-8                                 |
| Men:               | WC - 359 @ 1 per 40 = 9    | Women:               | WC - 9                                |
|                    | LAV - 359 (0) 1 per 75 = 5 |                      | LAV - 8                               |
| Women:             | WC - 359 @ 1 per 40 = 9    |                      |                                       |
|                    | LAV - 359 @ 1 per 75 = 5   | ADA Unisex:          | 1                                     |
|                    |                            | Service Sink:        | 1 (1 can wash size)                   |
| ADA Unisex:        | 1 required                 | Drinking Fountain:   | 0 (Water will be provided to customer |
| Service Sink:      | 1                          | -                    |                                       |
| Drinking Fountain: | 717 @ 1 per 500 = 2        | (2) Ambulatory stall | s provided per sex                    |

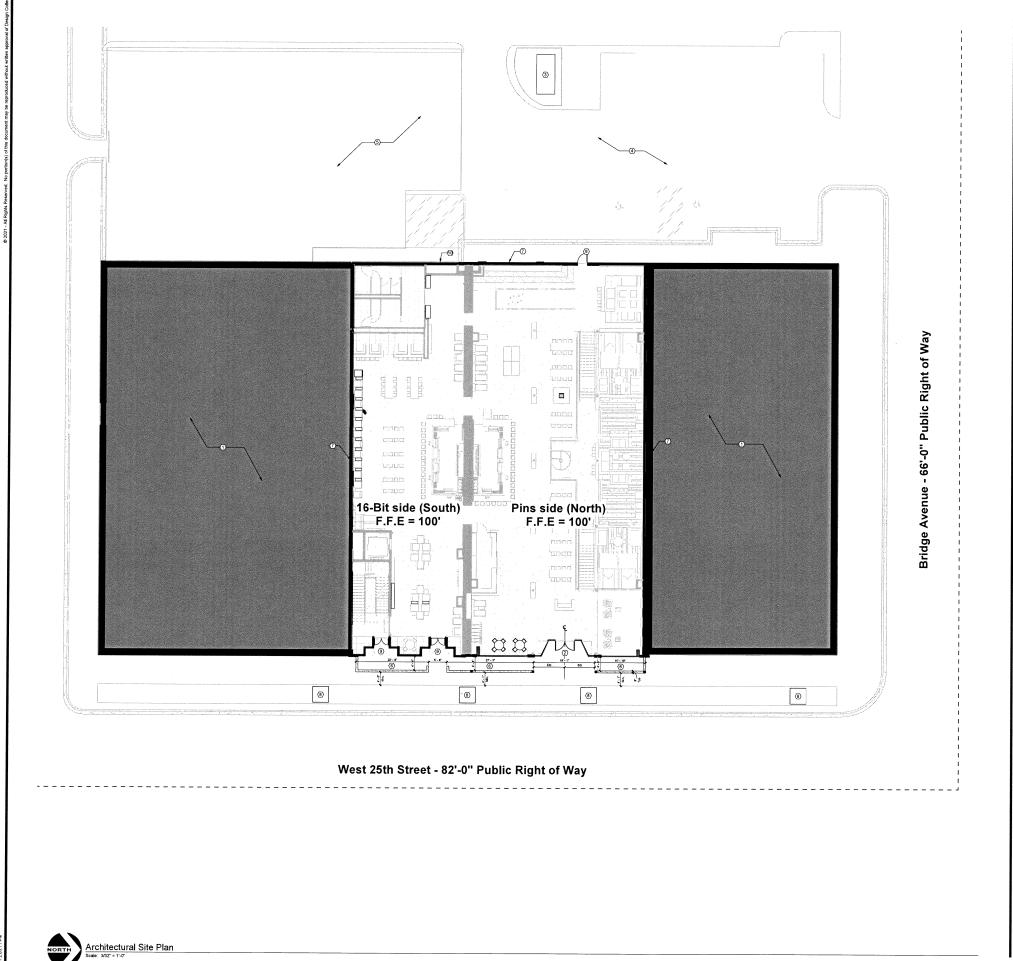
### SYMBOLS LEGEND



### DEFERRED DRAWING SUBMITTALS

| 1. | Automatic fire suppression system shop drawings shall be submitted by the contractor under separate cover. |
|----|--|
|----|--|

| 2. | Fire alarm shop drawings shall be submitted by the contractor under separate cover. |
|----|---|
| 3. | Drawings shall be submitted to the local health department for concurrent review.   |



### GENERAL NOTES - SITE PLAN

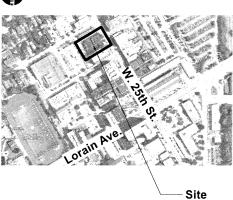
- The Contractor is to promptly repair all damage caused by the constru-barricades with matching material, finish and color.

### KEYNOTES - SITE PLAN ①

- Existing adjacent building. Not in scope
  Revort sidewalk as required for ADA compliance at this entrance
  Revort sidewalk as required for ADA compliance at this entrance
  Existing duranter location to remain
  Parking lot not on propeny. Not in scope of project
  Adjacent greated (10, not in scope
  Existing revorted (10, not in scope
  Existing revorted). See the Plana and Details
  Zero to time condition. Refer to Disaste Safety Plan for required rating, etc.
  Street tree emitted graphically for dainly. Existing trees to remain unchanged
  Existing sidewaltwatework to remain unchanged at the Section. Protect during cor
  Disaster conditions and continue of the Section Protect during cor
  Disaster continue of the Section Protect during cor
  Disaster continues.

### OVERALL SITE PLAN





# **Design**Collective

OWNER
Rise Brands
134 East Long St,
Columbus, Ohio 43215
Tel: (614) 754-7522
Matt Dunlap
matt@risebrands.com

ARCHITECT

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Randy Roberty
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STRUCTURAL ENGINEER

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LANDLORD
My Place Group
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Tel: (216) 544-3822
Chad Kertesz
chad@myplacecleveland.com

PROJECT STATUS
Permit Set



DESECTION DE COMPANDE

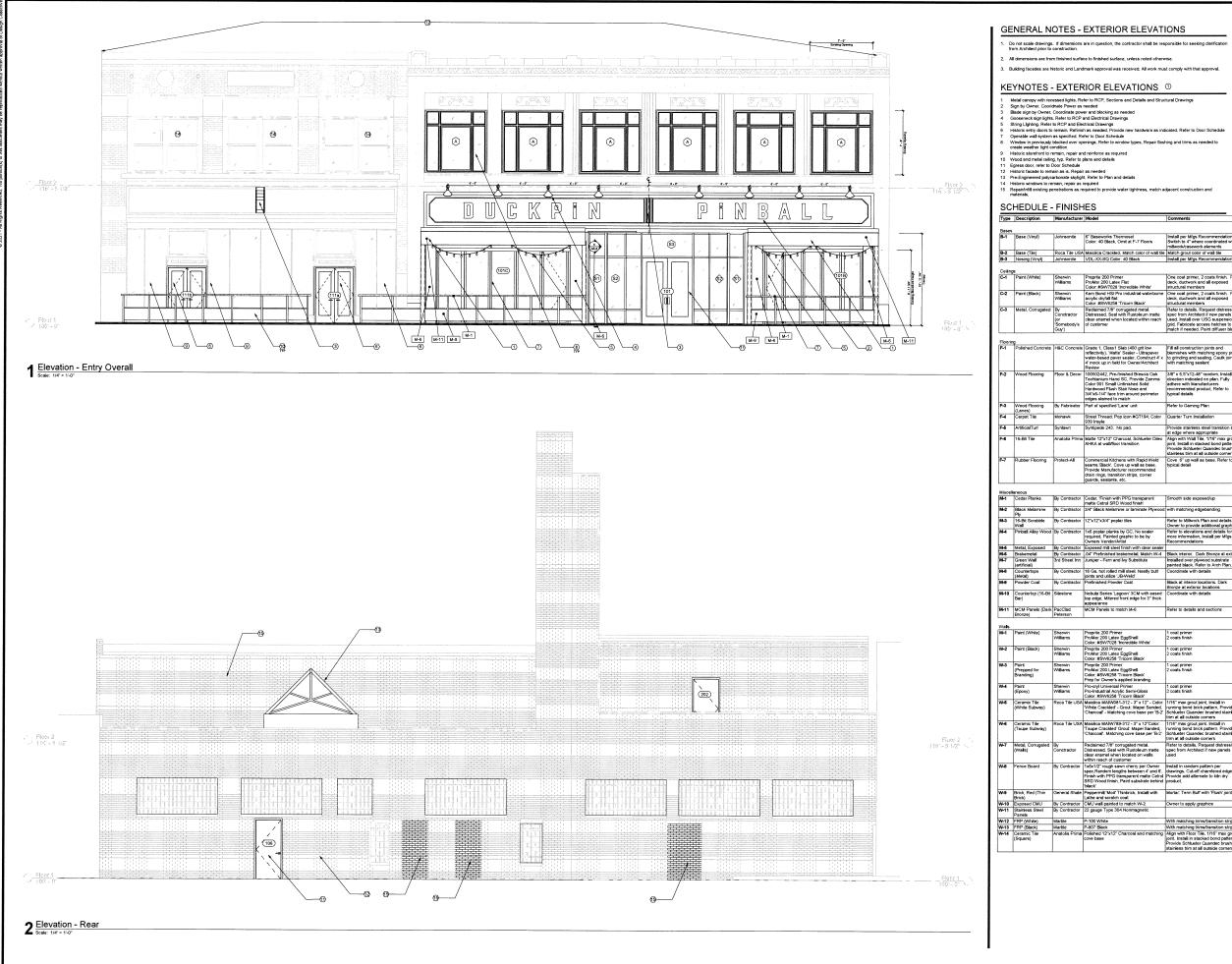
RISE Bit, Cleveland, Ohio City Rise Brands
1880 W 25th ST.
Cleveland, Ohio 44113 (Cuyahoga County)

3/19/2021

PROJECT NO. 1197.04

Architectural Site Plan

**A0** 



### GENERAL NOTES - EXTERIOR ELEVATIONS

- Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.

### KEYNOTES - EXTERIOR ELEVATIONS ①

### SCHEDULE - FINISHES

| Type    | Description              | Manufacturer                                     | Model  | Comments   |
|---------|--------------------------|--|--|--|
| Bases   |                          |  |  |  |
| B-1     | Base (Vinyl)             | Johnsonite                                       | 6" Baseworks Thermoset<br>Color: 40 Black, Omit at F-7 Floors  | Install per Mfgs Recommendations.<br>Switch to 4" where coordinated with<br>millwork/casework elements   |
| B-2     | Base (Tile)              | Roca Tile USA                                    |  |  |
| B-3     | Nosing (Vinyl)           | Johnsonite                                       | VDL-XX-SQ Color: 40 Black  | Install per Mfgs Recommendations   |
| Ceiling | gs                       |  |  |  |
| C-1     | Paint (White)            | Sherwin<br>Williams                              | Preprite 200 Primer<br>ProMar 200 Latex Flat<br>Color: #SW7028 'Incredible White'  | One coat primer, 2 coats finish, Pain<br>deck, ductwork and all exposed<br>structural members  |
| C-2     | Paint (Black)            | Sherwin<br>Williams                              | Kem Bond HS/ Pro industrial waterborne<br>acrylic dryfall flat:<br>Color; #SW6258 'Tricorn Black'  | One coat primer, 2 coats finish. Pain<br>deck, ductwork and all exposed<br>structural members  |
| C-3     | Metal, Corrugated        | By<br>Conctractor<br>(or<br>'Somebody's<br>Guy') | Reclaimed 7/8" corrugated metal.<br>Distressed, Seal with Rustoleum matte<br>clear enamel when located within reach<br>of customer   | Refer to details. Request distressing<br>spec from Architect if new panels<br>used, Install over USG suspension<br>grid. Fabricate access hatches to<br>match if needed, Paint diffuser black' |
| Floorin |                          |  |  |  |
| F-1     | Polished Concrete        |  | reflectivity), 'Matte' Sealer - Ultrapaver<br>water-based paver sealer, Construct 4' x<br>4' mock up in field for Owner/Architect<br>Review  | Fill all construction joints and<br>blemishes with matching epoxy prior<br>to grinding and sealing. Caulk joints<br>with matching sealant  |
| F-2     | Wood Flooring            | Floor & Decor                                    | 100502442. Pre-linished Brescia Cak<br>Techtanium Hand SC. Provide Zarrma<br>Color 901 Small Unfinished Solid<br>Hardwood Flush Stair Nose and<br>3/4"x6-1/4" face trim around perimeter<br>edges stained to match | 3/6" x 6.5"x12-46" random, Install in<br>direction indicated on plan. Fully<br>adhere with Manufacturers<br>recommended product. Refer to<br>typical details                                   |
| F-3     | Wood Flooring<br>(Lanes) | By Fabricator                                    | Part of specified 'Lane' unit  | Refer to Gaming Plan   |
| F4      | Carpet Tile              | Mohawk   | Street Thread; Pop Icon #GT194; Color<br>939 Insyle  | Quarter Turn Installation  |
| F-6     | ArtificialTurf           | Synlawn  | Syntipede 243. No pad.   | Provide stainless steel transition strip<br>at edge where appropriate  |
| F-6     | 16-Bit Tile              |  | AHKA at wall/floor transition  | Align with Wall Tile, 1/16" max grout<br>joint, Install in stacked bond pattern.<br>Provide Schlueter Quandec brushed<br>stainless trim at all outside corners                                 |
| F-7     | Rubber Flooring          | Protect-All                                      | Commercial Kitchens with Rapid Weld<br>seams, 'Black', Cove up wall as base,<br>Provide Manufacturer recommended<br>drain rings, transition strips, corner<br>guards, sealants, etc.                               | Cove 6" up wall as base. Refer to<br>typical detail  |

| M-1  | Cedar Planks                | By Contractor       | Cedar, 'Finish with PPG transparent<br>matte Cetrol SRD Wood finish'                             | Smooth side exposed/up   |
|------|-----------------------------|---------------------|--|--|
| M-2  | Black Melamine<br>Ply       | By Contractor       | 3/4" Black Melamine or laminate Plywood  | with matching edgebanding  |
| M-3  | 16-Bit Scrabble<br>Wall     | By Contractor       | 12"x12"x3/4" poplar tiles  | Refer to Millwork Plan and details,<br>Owner to provide additional graphics                  |
| M-4  | Pinball Alley Wood          | By Contractor       | 1x6 poplar planks by GC. No sealer<br>required, Painted graphic to be by<br>Owners Vendor/Artist | Refer to elevations and details for<br>more information, Install per Mfgs<br>Recommendations |
| M-5  | Metal, Exposed              | By Contractor       | Exposed mill steel finish with clear sealer  |  |
| M-6  | Brakemetal                  | By Contractor       | .04" Prefinished brakemetal, Match W-4   | Black interior. Dark Bronze at exterio   |
| M-7  | Green Wall<br>(artificial)  | 3rd Street Inn      | Juniper - Fern and My Substitute   | Installed over plywood substrate<br>painted black, Refer to Arch Plan,                       |
| M-8  | Countertops<br>(Metal)      | By Contractor       | 16 Ga, hot rolled mill steel. Neatly butt<br>joints and utilize 'JB-Weld'                        | Coordinate with details  |
| M-9  | Powder Coat                 | By Contractor       | Prefinished Powder Coat  | Black at inteiror locations, Dark<br>Bronze at exterior locations                            |
| M-10 | Countertop (16-Bit<br>Bar)  | Silestone           | Nebula Series 'Lagoon' 3CM with eased<br>top edge. Mitered front edge for 3" thick<br>appearance | Coordinate with details  |
| M-11 | MCM Panels (Dark<br>Bronze) | PacClad<br>Peterson | MCM Panels to match M-6  | Refer to details and sections  |

| M-10        | Countertop (16-Bit<br>Bar)         | Silestone           | Nebula Series 'Lagoon' 3CM with eased<br>top edge. Mitered front edge for 3" thick<br>appearance   | Coordinate with details   |
|-------------|------------------------------------|---------------------|--|---|
| M-11        | MCM Panels (Dark<br>Bronze)        | PacClad<br>Peterson | MCM Panels to match M-6  | Refer to details and sections   |
| Valls       |                                    |                     |  |   |
| <b>N</b> -1 | Paint (White)                      | Sherwin<br>Williams | Preprite 200 Primer<br>ProMar 200 Latex EggShell<br>Color: #SW7028 'Incredible White'  | 1 coat primer<br>2 coats finish   |
| N-2         | Paint (Black)                      | Sherwin<br>Williams | Preprite 200 Primer<br>ProMar 200 Latex EggShell<br>Color: #SW6258 'Tricorn Black'   | 1 coat primer<br>2 coats finish   |
| K-3         | Paint<br>(Prepped for<br>Branding) | Sherwin<br>Williams | Preprite 200 Primer ProMar 200 Latex EggShell Color: #SW6258 'Tricorn Black' Prep for Owner's applied branding   | 1 coat primer<br>2 coats finish   |
| N-4         | Paint<br>(Epoxy)                   | Sherwin<br>Williams | Pro-cryl Universal Primer<br>Pro-Industrial Acrylic Semi-Gloss<br>Color: #SW6258 'Tricorn Black'   | 1 coat primer<br>2 coats finish   |
| N-6         | Ceramic Tile<br>(White Subway)     | Roca Tile USA       | Maiolica MAIW081-312 - 3" x 12" - Color:<br>White Crackled - Grout: Mapei Sanded,<br>'Charcoal' - Matching cove base per 'B-2'   | 1/16" max grout joint, Install in<br>running bond brick pattern, Provide<br>Schlueter Quandec brushed stainless<br>trim at all outside corners                  |
| N-6         | Ceramic Tile<br>(Taupe Subway)     | Roca Tile USA       | Maiolica MAIW789-312 - 3" x 12"Color:<br>Taupe Crackled Grout: Mapei Sanded,<br>'Charcoal', Matching cove base per 'B-2'   | 1/16" max grout joint. Install in<br>running bond brick pattern, Provide<br>Schlueter Quandec brushed stainless<br>trim at all outside corners                  |
| N-7         | Metal, Corrugated<br>(Walls)       | By<br>Conctractor   | Reclaimed 7/8" corrugated metal,<br>Distressed, Seal with Rustoleum matte<br>clear enamel when located on walls<br>within reach of customer                                      | Refer to details, Request distressing<br>spec from Architect if new panels<br>used  |
| N-8         | Fence Board                        | By Contractor       | 1x6x1/2" rough sawn cherry per Owner<br>spec.Random lengths between 4' and 8'.<br>Finish with PPG transparent matte Cetrol<br>SRD Wood finish. Paint substrate behind<br>'black' | Install in random pattern per<br>drawings. Cut-off chamfered edges.<br>Provide add atternate to kiln dry<br>product.  |
| N-9         | Brick, Red (Thin<br>Brick)         |                     | Peppermill 'Mod' Thinbrick, Install with<br>Lathe and scratch coat   | Mortar: Tenn Buff with 'Flush' joints   |
| N-10        | Exposed CMU                        |                     | CMU wall painted to match W-2  | Owner to apply graphics   |
| N-11        | Stainless Steel<br>Panels          | ·                   | 22 gauge Type 304 Nonmagnetic  |   |
|             | FRP (White)                        | Marlite             | P-100 White  | With matching trims/transition strips   |
|             | FRP (Black)                        | Marlite             | P-807 Black  | With matching trims/transition strips   |
| N-14        | Ceramic Tile<br>(Square)           | Anatolia Prima      | Polished 12"x12" Charcoal and matching<br>cove base  | Align with Floor Tile, 1/16" max grout<br>joint, Install in stacked bond pattern,<br>Provide Schlueter Quandec brushed<br>stainless trim at all outside corners |
|             |                                    |                     |  |   |

# **Design** Collective

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GENERAL CONTRACTOR

Permit Set



IECETT BARHARCADE hio City

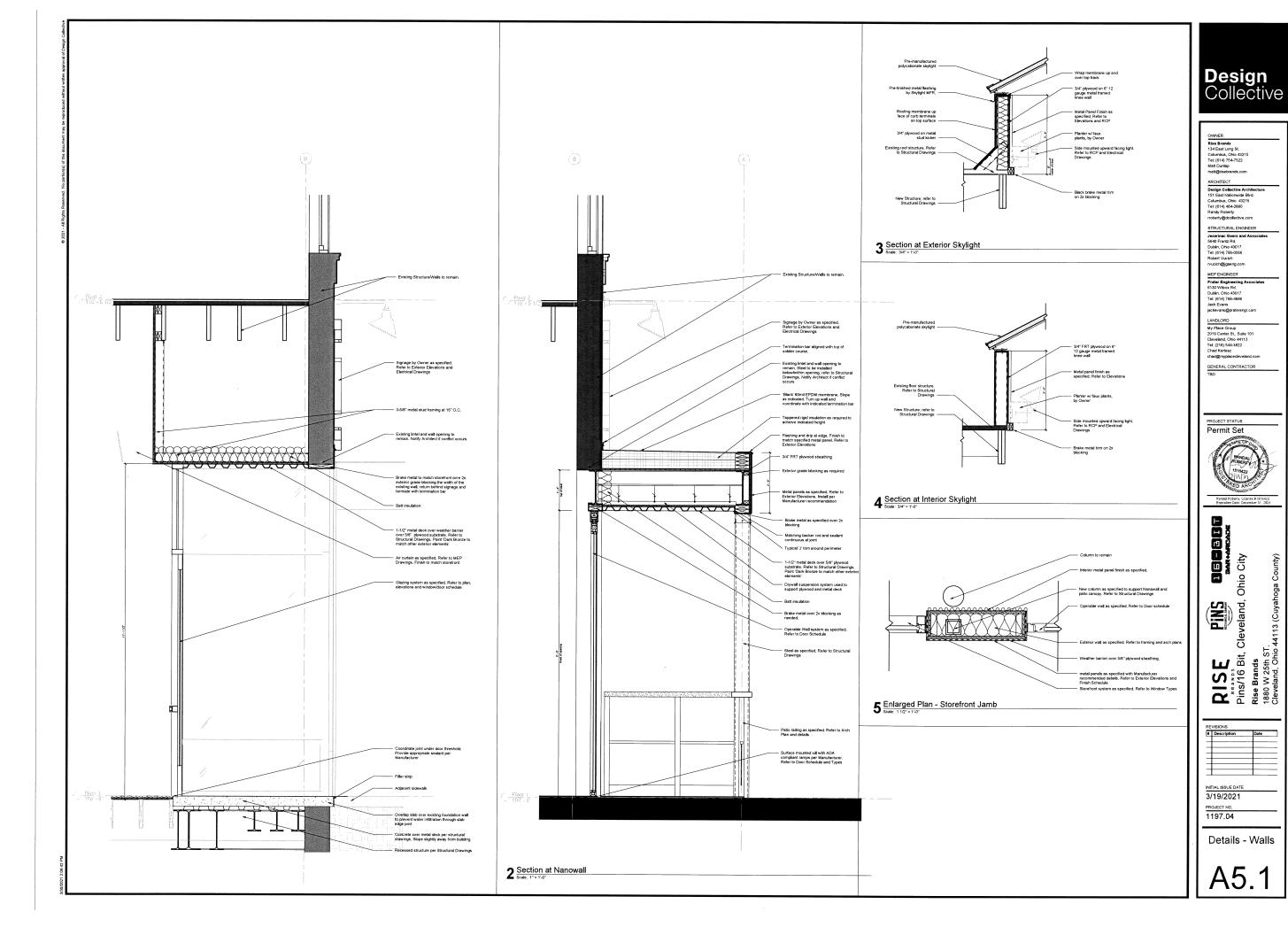
Ohio

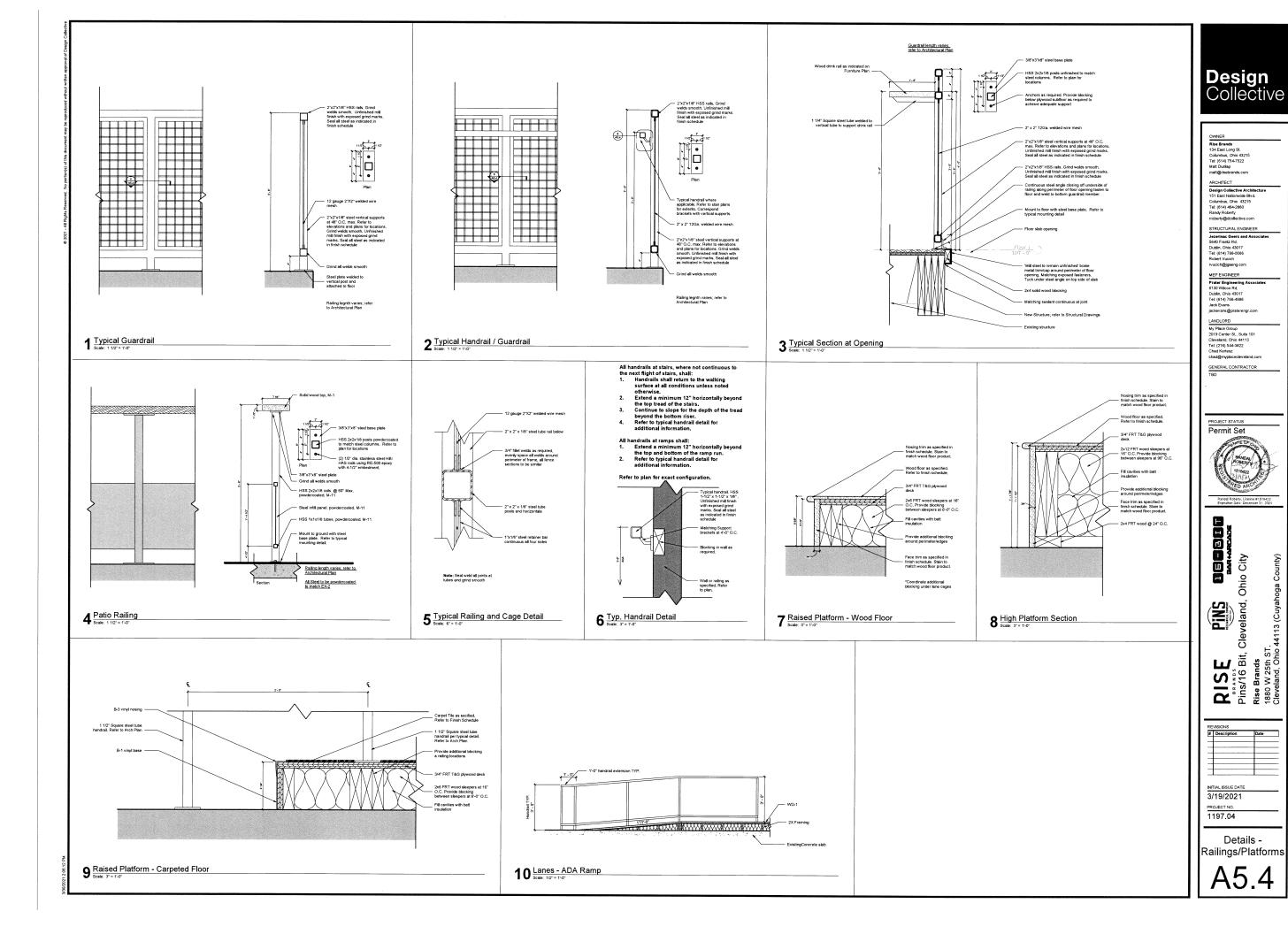
RISE PINS E PINS E PINS PINS PINS/16 Bit, Cleveland, Ohio Rise Brands
1880 W 25th ST. Cleveland, Ohio 44113 (Cuyahoga Co

3/19/2021

PROJECT NO. 1197.04

Exterior Elevations





## $\frac{\text{CONSENT TO INTRODUCE LEGISLATION}}{\text{BY REQUEST}}$

| 2/14/22<br>Dated:   | The Honorable Kerry McCormack  |
|---|--|
|   |  |
| to encroach into the public right<br>using and maintaining two me | pital Projects to issue a permit to Pins / 16-Bit at-of-way of West 25 <sup>th</sup> Street by installing, etal canopies supported by four metal columns wood caps to create an outdoor space for set 44113. |
| An Emergency Ordinance  |  |
|   |  |

Mayor's Office of Capital Projects

Date:

February 16, 2022

To:

Mark D. Griffin, Chief Legal Counsel

Department of Law

From:

James D. DeRosa, Interim Director Mayor's Office of Capital Projects

Re:

Request for Encroachment Legislation

We are requesting an Ordinance be prepared authorizing the Director of Capital Projects to issue a permit to The Goat My Place, LLC to encroach into the public right-of-way of West 25<sup>th</sup> Street by installing, using and maintaining two metal canopies supported by four metal columns as well as metal railings with wood caps.

An electronic draft copy will be emailed to your Department to facilitate the processing of this request.

If you have any questions please contact Eric Westfall, Survey Department 664-3780, Thank you.

### JD/ebw

Cc:

Ryan Puente, Chief Government Affairs Officer
Elise Hara Auvil, Chief Administrative Officer
Bradford J. Davy, Chief Strategy Officer
Bonnie Teeuwen, Chief Operating Officer
Richard Switalski, Administration Bureau Manager, Division of Engineering & Const.
Eric Westfall, Plats and Surveys Section (Acting)
Meredith Carey, Legislative Liaison
Nancy Lanzola, Department of Law