

LEGISLATIVE SUMMARY
Mayor's Office of Capital Projects
Division of Engineering and Construction

Encroachment into the public right-of-way of West 25th Street by installing, using and maintaining two metal canopies supported by four metal columns as well as metal railings with wood caps.

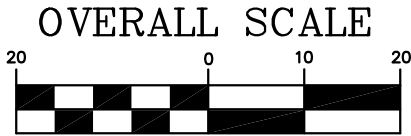
Ordinance Number: 213-2022

Description: Authorizing the Director of the Mayor's Office of Capital Projects to issue a permit to The Goat My Place, LLC to encroach into the public right-of-way of West 25th Street by installing, using and maintaining two metal canopies supported by four metal columns as well as metal railings with wood caps.

Purpose To create an outdoor space for patrons at 1880 West 25th Street 44113.

A consent form acknowledging approval of this request will be forthcoming from the Council Member

Ward: Ward 3 Council Member Kerry McCormack



(IN FEET)

1 inch = 20 ft.

NOVEMBER 3, 2021



**SKETCH TO ACCOMPANY
LEGAL DESCRIPTION
OF A SIDEWALK ENCROACHMENT
For
THE GOAT MY PLACE LLC.**

SITUATED IN THE CITY OF CLEVELAND, COUNTY OF CUYAHOGA AND THE STATE OF OHIO AND KNOWN AS BEING PART OF ORIGINAL BROOKLYN TOWNSHIP LOT NO. 70, ALSO BEING PART OF WEST 25TH STREET (82.5 FEET WIDE).

A-Z TAVERNS, INC.
PPN 003-38-014

PROPERTY LINE

PREPARED FOR:
PINS MECHANICAL
1880 WEST 25TH STREET
CLEVELAND, OH 44113

**SIDEWALK
ENCROACHMENT**
503 S.F. =
0.0115 ACRES

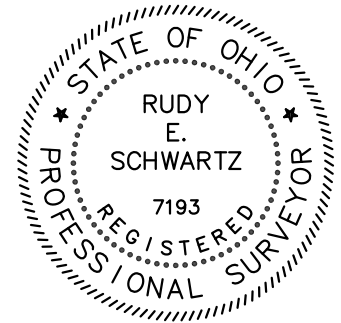
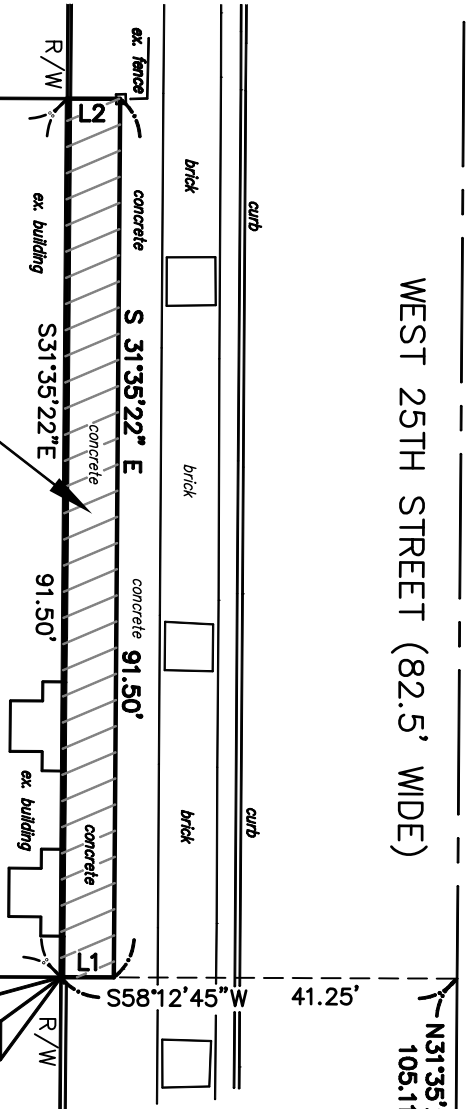
THE GOAT MY PLACE LLC.
AFN# 201906030453
PPN 003-38-072

LINE TABLE		
LINE	LENGTH	BEARING
L1	5.50	S58°12'45"W
L2	5.50	N58°12'45"E

PROPERTY LINE

1898 W. 25 LLC.
PPN 003-38-069

PPOB



WEST 25TH STREET (82.5' WIDE)

CENTERLINE

CARROLL AVE.
(50' WIDE)

CENTERLINE

POB

NOTE:
BOUNDARY INFORMATION BASED ON "LOT
CONSOLIDATION PLAN FOR 1880-1890 WEST 25TH
STREET" BY STEPHEN HOVANCSEK & ASSOC. INC.
DATED 4-7-21 AND RECORDED IN AFN #202105200704

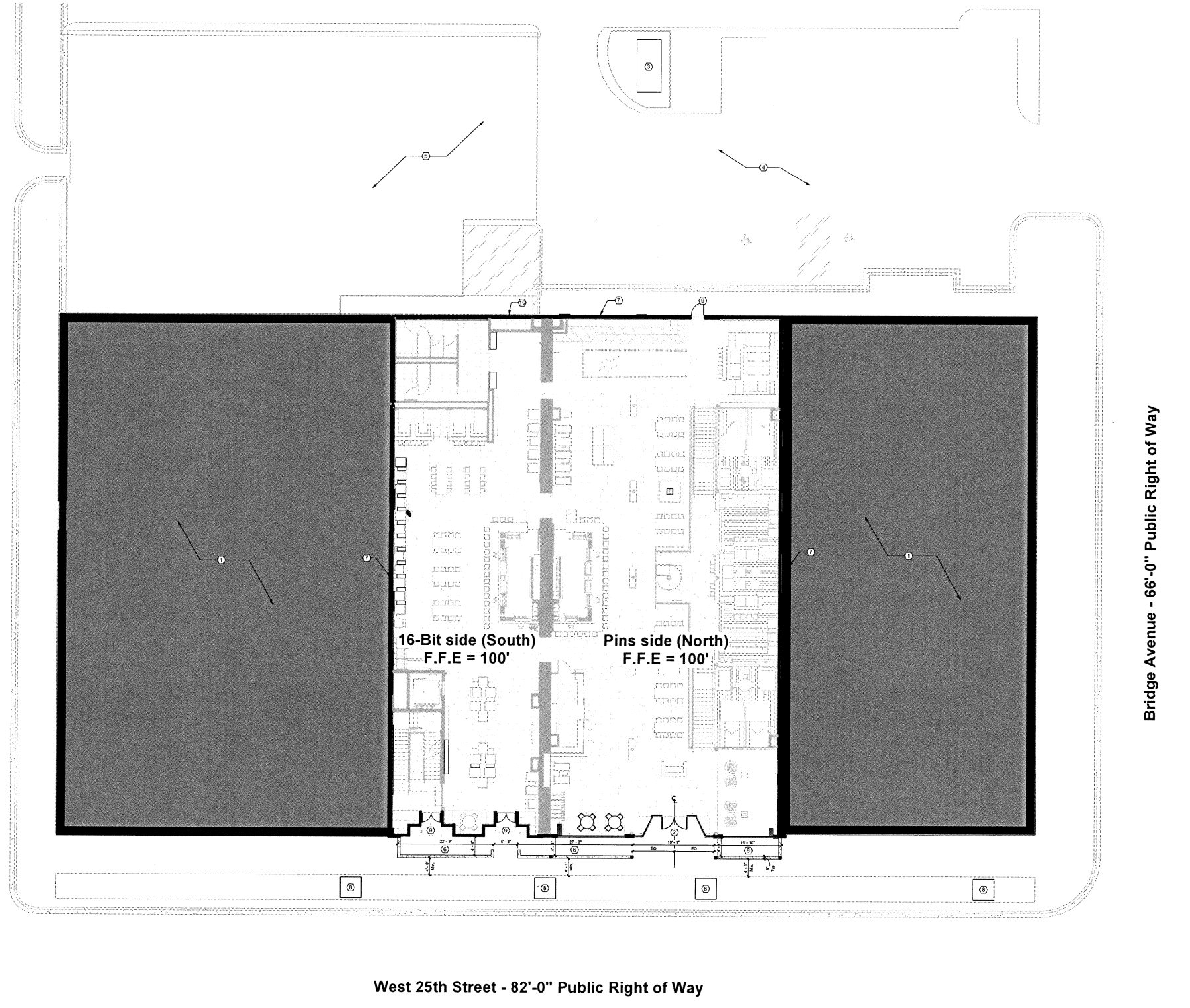
Prepared By:
**HESS & ASSOCIATES
ENGINEERING INC.**
12121 Kinsman Road
Newbury, Ohio 44065
Tel (440)564-8008 Fax (440)564-8176



SCHWARTZ LAND SURVEYING INC.

RUDY E. SCHWARTZ
PROFESSIONAL SURVEYOR
12121 KINSMAN ROAD
NEWBURY, OHIO 44065
440-564-8174 Fax: 440-564-8285

© 2021 - All Rights Reserved. No portion(s) of this document may be reproduced without written approval of Design Collective.



Bridge Avenue - 66'-0" Public Right of Way

West 25th Street - 82'-0" Public Right of Way

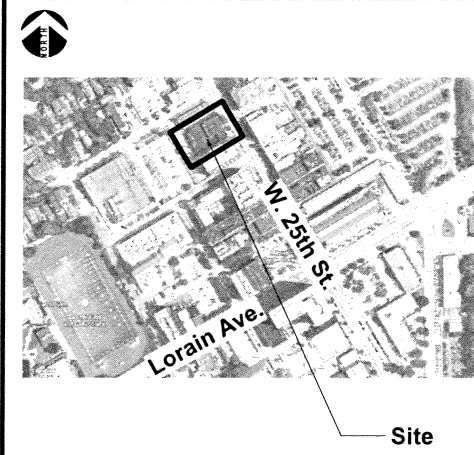
GENERAL NOTES - SITE PLAN

1. Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.
2. All dimensions are from finished surface to finished surface, unless noted otherwise.
3. The scope of all site work and site work specifications are provided on the Civil drawings.
4. Architectural site plan is provided to show the relationship of the architectural elements and to provide plan and detail key reference only.
5. GC to submit a final barricade plan to Owner and Landlord for approval. Owner and Landlord must approve the layout, extents, construction methods, finishes and graphic prior to commencement of work.
6. GC to determine the final extents, construction and anchoring of all temporary barricades. Egress/access doors shall be provided and coordinated as required.
7. The Contractor is to promptly repair all damage caused by the construction or demolition of the temporary barricades with matching material, finish and color.
8. Any modifications to the surrounding sidewalk, if necessary, shall require removal of the concrete to the nearest control joints. Extents shall be re-poured to match the existing sidewalk pattern and finish.

KEYNOTES - SITE PLAN

- 1 Existing adjacent building. Not in scope
- 2 Rework sidewalk as required for ADA compliance at this entrance
- 3 Existing dumpster location to remain
- 4 Parking lot not on property. Not in scope of project
- 5 Adjacent gated lot, not in scope
- 6 Exterior Patio, refer to Plans and Details
- 7 Zero lot line condition. Refer to Life Safety Plan for required rating, etc.
- 8 Street tree omitted graphically for clarity. Existing trees to remain unchanged
- 9 Existing sidewalk/sidewalk to remain unchanged at this location. Protect during construction
- 10 Provide CO2 fill station in recess hydrant cabinet at this location. Coordinate exact location in field. Refer to Equipment Plan

OVERALL SITE PLAN



Design Collective

OWNER
Rise Brands
134 East Long St.
Columbus, Ohio 43215
Tel: (614) 754-7522
Matt Durlap
matt@risebrands.com

ARCHITECT
Design Collective Architecture
151 East Nationwide Blvd.
Columbus, Ohio 43215
Tel: (614) 454-2890
Randy Roberty
rroberty@dccollective.com

STRUCTURAL ENGINEER
Jezzevic Geers and Associates
5640 Franz Rd.
Dublin, Ohio 43017
Tel: (614) 766-0066
Robert Vucich
rvucich@jgaeng.com

MEP ENGINEER
Prater Engineering Associates
6130 Wilcox Rd.
Dublin, Ohio 43017
Tel: (614) 766-4896
Jack Evans
jackevans@praterengr.com

LANDLORD
My Place Group
2019 Center St., Suite 101
Cleveland, Ohio 44113
Tel: (216) 544-3822
Chad Kertesz
chad@myplacecleveland.com

GENERAL CONTRACTOR
TBD

PROJECT STATUS
Permit Set

Randal Roberty, License # 1518422
Expiration Date: December 31, 2021

BE BETT
BANKING PARTNERSHIP

PINS
Pins/16 Bit, Cleveland, Ohio City

RISE
Rise Brands
Pins/16 Bit, Cleveland, Ohio City
1880 W 25th St.
Cleveland, Ohio 44113 (Cuyahoga County)

REVISIONS

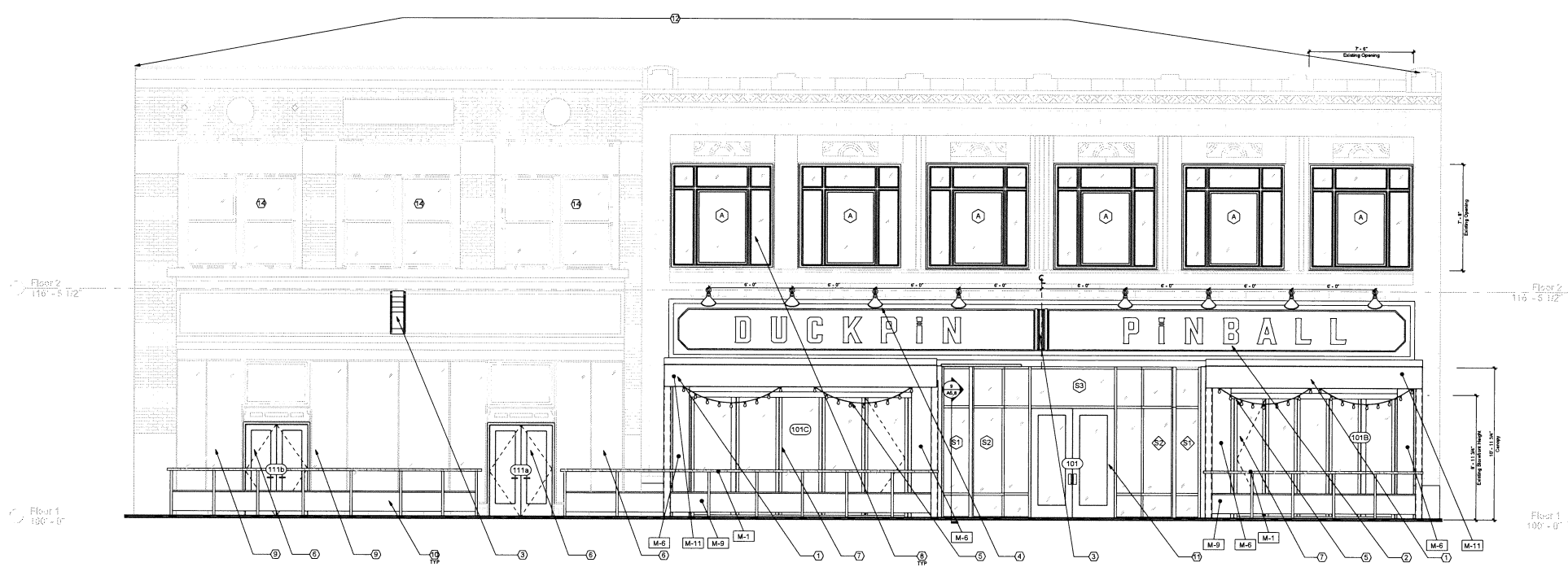
#	Description	Date

INITIAL ISSUE DATE
3/19/2021

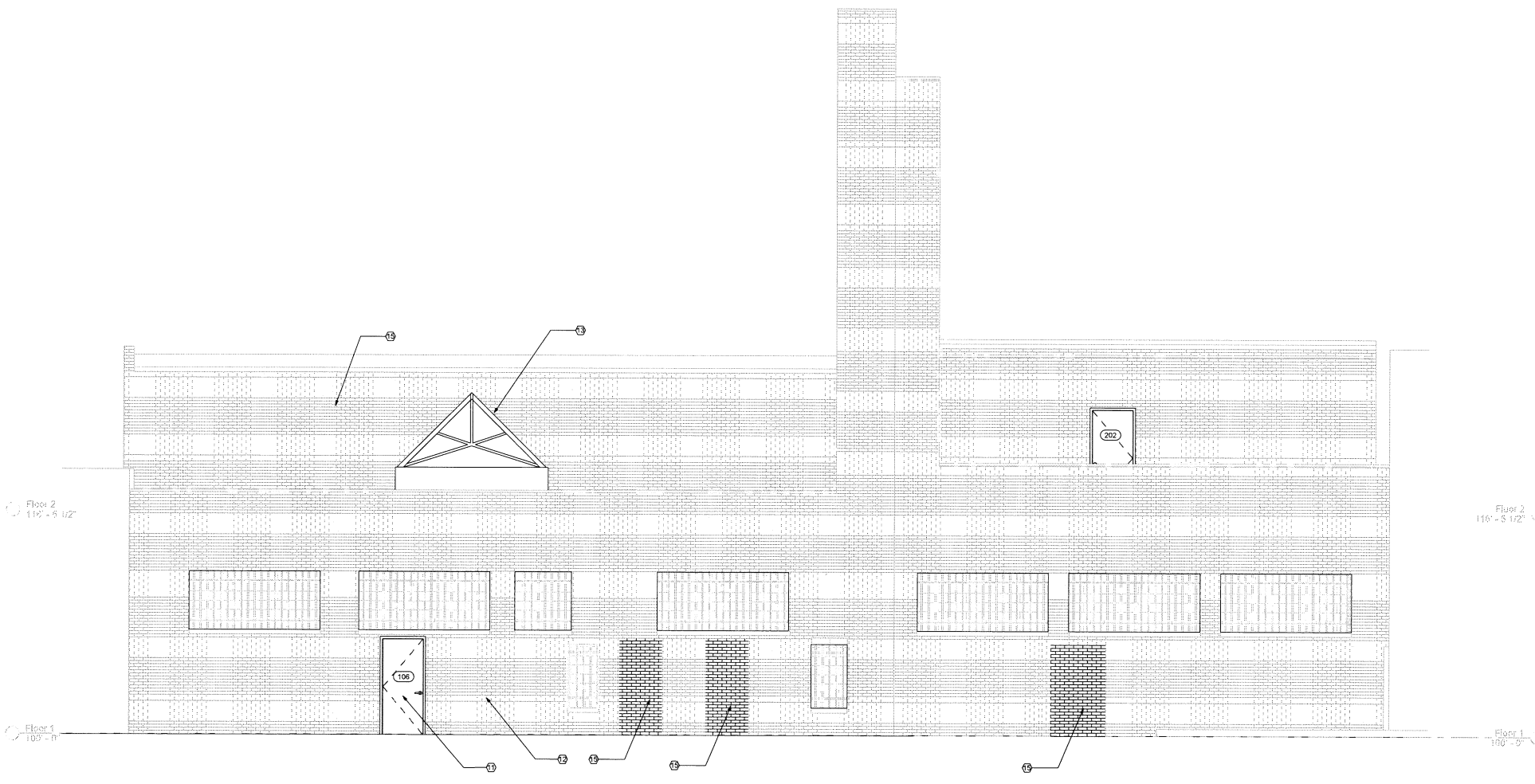
PROJECT NO.
1197.04

Architectural Site Plan
A0

© 2021 - All Rights Reserved. No portion of this document may be reproduced without written approval of Design Collective.



1 Elevation - Entry Overall
Scale: 1/4" = 1'-0"



2 Elevation - Rear
Scale: 1/4" = 1'-0"

GENERAL NOTES - EXTERIOR ELEVATIONS

- Do not scale drawings. If dimensions are in question, the contractor shall be responsible for seeking clarification from Architect prior to construction.
- All dimensions are from finished surface to finished surface, unless noted otherwise.
- Building facades are historic and Landmark approval was received. All work must comply with that approval.

KEYNOTES - EXTERIOR ELEVATIONS

- Metal canopy with recessed lights. Refer to RCP, Sections and Details and Structural Drawings
- Sign by Owner. Coordinate Power as needed
- Blade sign by Owner. Coordinate power and blocking as needed
- Gooseneck sign lights. Refer to RCP and Electrical Drawings
- String lighting. Refer to RCP and Electrical Drawings
- Historic entry doors to remain. Refinish as needed. Provide new hardware as indicated. Refer to Door Schedule
- Operable wall system as specified. Refer to Door Schedule
- Window in previously blocked over opening. Refer to window types. Repair flashing and trim as needed to create weather tight condition
- Historic storefront to remain, repair and reinforce as required
- Wood and metal railing, typ. Refer to plans and details
- Egress door. Refer to Door Schedule
- Historic facade to remain as is. Repair as needed
- Pre-Engineered polycarbonate skylight. Refer to Plan and details
- Historic windows to remain, repair as required
- Repair/finish existing penetrations as required to provide water tightness, match adjacent construction and materials.

SCHEDULE - FINISHES

Type	Description	Manufacturer	Model	Comments
Bases				
B-1	Base (Vinyl)	Johnsontite	6" Baseworks Thermoset Color: 40 Black. Omit at F-7 Floors	Install per Mfgs Recommendations. Switch to 4" where coordinated with masonry/stone elements
B-2	Base (Tile)	Roca Tile USA	Maiolica Cracked. Match color of wall tile	Match grout color of wall tile
B-3	Nosing (Vinyl)	Johnsontite	VDL-XX-SQ Color: 40 Black	Install per Mfgs Recommendations
Ceilings				
C-1	Paint (White)	Shewin Williams	Preprime 200 Primer ProMar 200 Latex Flat Color: #SW7028 "Incredible White"	One coat primer, 2 coats finish. Paint deck, ductwork and all exposed structural members
C-2	Paint (Black)	Shewin Williams	Kern Bond HSI Pro Industrial waterborne acrylic dry flat Color: #SW6258 "Tricorn Black"	One coat primer, 2 coats finish. Paint deck, ductwork and all exposed structural members
C-3	Metal, Corrugated	By Contractor	Reclaimed 7/8" corrugated metal. Distressed. Seal with Rustoleum matte clear enamel when located within reach of customer	Refer to details. Request distressing spec from Architect if new panels used. Install over USG suspension grid. Fabricate access hatches to match if needed. Paint offuser black
Flooring				
F-1	Polished Concrete	H&C Concrete	Grade 1, Class 1 Slab (400 grit low reflectivity). Matte Sealer - Ultrasealer water-based paver sealer. Construct 4" x 4" rock up in field for Owner/Architect Review	Fill all construction joints and berms with matching epoxy prior to grinding and sealing. Caulk joints with matching sealant
F-2	Wood Flooring	Floor & Decor	100502442, Pre-finished Brescia Oak Teaklamum Hard SO. Provide Zanna Color 901 Small Unfinished Solid Hardwood Flush Star Nose and 3/4"x1/4" face trim around perimeter edges stained to match	3/8" x 6 1/2" x 48" random. Install in direction indicated on plan. Fully adhere with Manufacturer's recommended product. Refer to typical details
F-3	Wood Flooring (Lams)	By Fabricator	Part of specified 'Lam' unit	Refer to Gaming Plan
F-4	Carpet Tile	Mohawk	Street Thread, Pop Icon #GT194, Color 939 Inlay	Quarter Turn Installation
F-6	ArtificialTurf	Synlawn	SynTapeck 243. No pad.	Provide stainless steel transition strip at edge where appropriate
F-6	16-Bit Tile	Anatolia Prima	Matte 12"x12" Charcoal. Schluter Dilex AKA at wall/door transition	Align with Wall Tile. 1/16" max grout joint. Install in stacked bond pattern. Provide Schluter Quanco brushed stainless trim at all outside corners
F-7	Rubber Flooring	Protect-All	Commercial Kitchens with Rapid Weld seams. Black. Cove up wall as base. Provide Manufacturer recommended drain rings, transition strips, corner guards, sealants, etc.	Cove 6" up wall as base. Refer to typical detail
Miscellaneous				
M-1	Cedar Planks	By Contractor	Cedar. Finish with PPG transparent matte Cetrol SPD Wood finish	Smooth side exposed/up
M-2	Black Melamine Ply	By Contractor	3/4" Black Melamine or laminate Plywood	with matching edgbanding
M-3	16-Bit Scabbie Wall	By Contractor	12"x12"x3/4" poplar tiles	Refer to Millwork Plan and details. Owner to provide additional graphics
M-4	Pinball Alley Wood	By Contractor	1x6 poplar planks by GC. No sealer required. Painted graphics to be by Owners Vendor/Artist	Refer to elevations and details for more information. Install per Mfgs Recommendations
M-6	Metal, Exposed	By Contractor	Exposed mill steel finish with clear sealer	
M-6	Brakrametal	By Contractor	1/4" Prefinished brakrametal. Match W-4	Black interior. Dark Bronze at exterior
M-7	Green Wall (artificial)	By Contractor	3rd Street Inn - Fern and Ivy Substitute	Installed over plywood substrate painted black. Refer to Arch Plan.
M-8	Countertops (Metal)	By Contractor	16 Ga. hot rolled mill steel. Neatly buff joints and utilize JB-Weld	Coordinate with details
M-9	Powder Coat	By Contractor	Prefinished Powder Coat	Black at interior locations. Dark Bronze at exterior locations
M-10	Countertop (16-Bit Bar)	By Contractor	Nabula Series Lagoon 3CM with eased top edge. Mitered front edge for 3" thick appearance	Coordinate with details
M-11	MCM Panels (Dark Bronze)	PacClad Peterson	MCM Panels to match M-6	Refer to details and sections
Walls				
W-1	Paint (White)	Shewin Williams	Preprime 200 Primer ProMar 200 Latex EggShell Color: #SW7028 "Incredible White"	1 coat primer 2 coats finish
W-2	Paint (Black)	Shewin Williams	Preprime 200 Primer ProMar 200 Latex EggShell Color: #SW6258 "Tricorn Black"	1 coat primer 2 coats finish
W-3	Paint (Prepped for Branding)	Shewin Williams	Preprime 200 Primer ProMar 200 Latex EggShell Color: #SW6258 "Tricorn Black" Prep for Owner's applied branding	1 coat primer 2 coats finish
W-4	Paint (Epoxy)	Shewin Williams	Pro-cyl Universal Primer Pro-Industrial Acrylic Semi-Gloss Color: #SW6258 "Tricorn Black"	1 coat primer 2 coats finish
W-6	Ceramic Tile (White Subway)	Roca Tile USA	Maiolica MAIW081-312 - 3" x 12" - Color: White Cracked - Gout. Matte Sanded, Charcoal - Matching cove base per B-2	1/16" max grout joint. Install in running bond brick pattern. Provide Schluter Quanco brushed stainless trim at all outside corners
W-6	Ceramic Tile (Taupe Subway)	Roca Tile USA	Maiolica MAIW789-312 - 3" x 12" Color: Taupe Cracked Gout. Matte Sanded, Charcoal - Matching cove base per B-2	1/16" max grout joint. Install in running bond brick pattern. Provide Schluter Quanco brushed stainless trim at all outside corners
W-7	Metal, Corrugated (Walls)	By Contractor	Reclaimed 7/8" corrugated metal. Distressed. Seal with Rustoleum matte clear enamel when located on walls within reach of customer	Refer to details. Request distressing spec from Architect if new panels used
W-8	Fence Board	By Contractor	Tan127 rough sawn cherry per Owner spec. Random lengths between 4' and 8'. Finish with PPG transparent matte Cetrol SPD Wood finish. Paint substrate behind black	Install in random pattern per drawings. Cut-off chamfered edges. Provide add alternate to kiln dry product.
W-9	Brick Red (Thin Brick)	General Shale	Peppermill Mod Thibrick. Install with Lette and scissor coat	Morta: Tenn Buff with Flash joints
W-10	Exposed CMU	By Contractor	CMU wall painted to match W-2	Owner to apply graphics
W-11	Stainless Steel Panels	By Contractor	22 gauge Type 304 Nonmagnetic	
W-12	FRP (White)	Marite	P-100 White	With matching trim/transition strips
W-13	FRP (Black)	Marite	P-807 Black	With matching trim/transition strips
W-14	Ceramic Tile (Square)	Anatolia Prima	Polished 12"x12" Charcoal and matching cove base	Align with Floor Tile. 1/16" max grout joint. Install in stacked bond pattern. Provide Schluter Quanco brushed stainless trim at all outside corners



OWNER
Rise Brands
134 East Long St.
Columbus, Ohio 43215
Tel: (614) 754-7522
Matt Dunlap
matt@risebrands.com

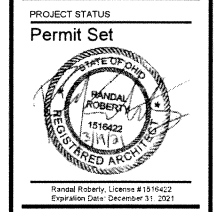
ARCHITECT
Design Collective Architecture
151 East Nationwide Blvd.
Columbus, Ohio 43215
Tel: (614) 464-2890
Randy Roberty
rroberty@designcollective.com

STRUCTURAL ENGINEER
Pater Engineering and Associates
5640 Franz Rd.
Dublin, Ohio 43017
Tel: (614) 766-0066
Robert Veach
rveach@patereng.com

MEP ENGINEER
Pater Engineering Associates
151 East Nationwide Blvd.
Dublin, Ohio 43017
Tel: (614) 766-4896
Jack Evans
jackevans@paterengr.com

LANDLORD
My Place Group
2019 Center St., Suite 101
Cleveland, Ohio 44113
Tel: (216) 544-3822
Chad Kerkez
ckerkz@myplacecleveland.com

GENERAL CONTRACTOR
TBD



PROJECT STATUS
Permit Set

RISE
PINS
Rise Brands
1880 W 25th St.
Cleveland, Ohio 44113 (Cuyahoga County)

REVISIONS

#	Description	Date

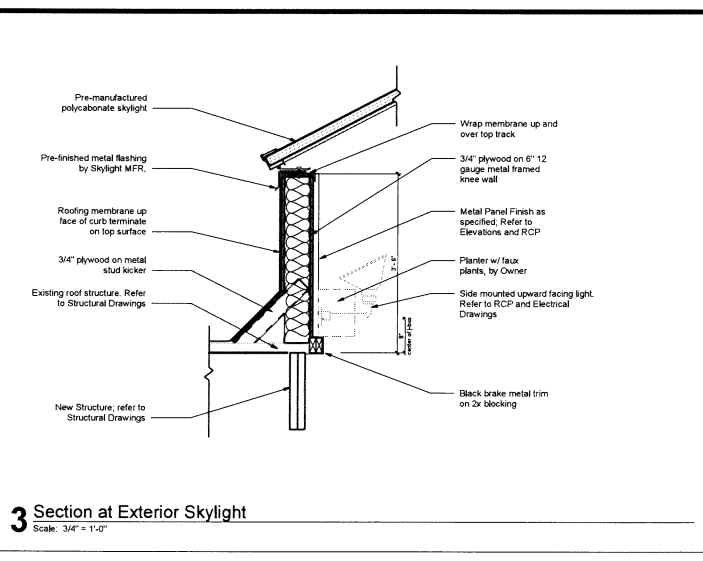
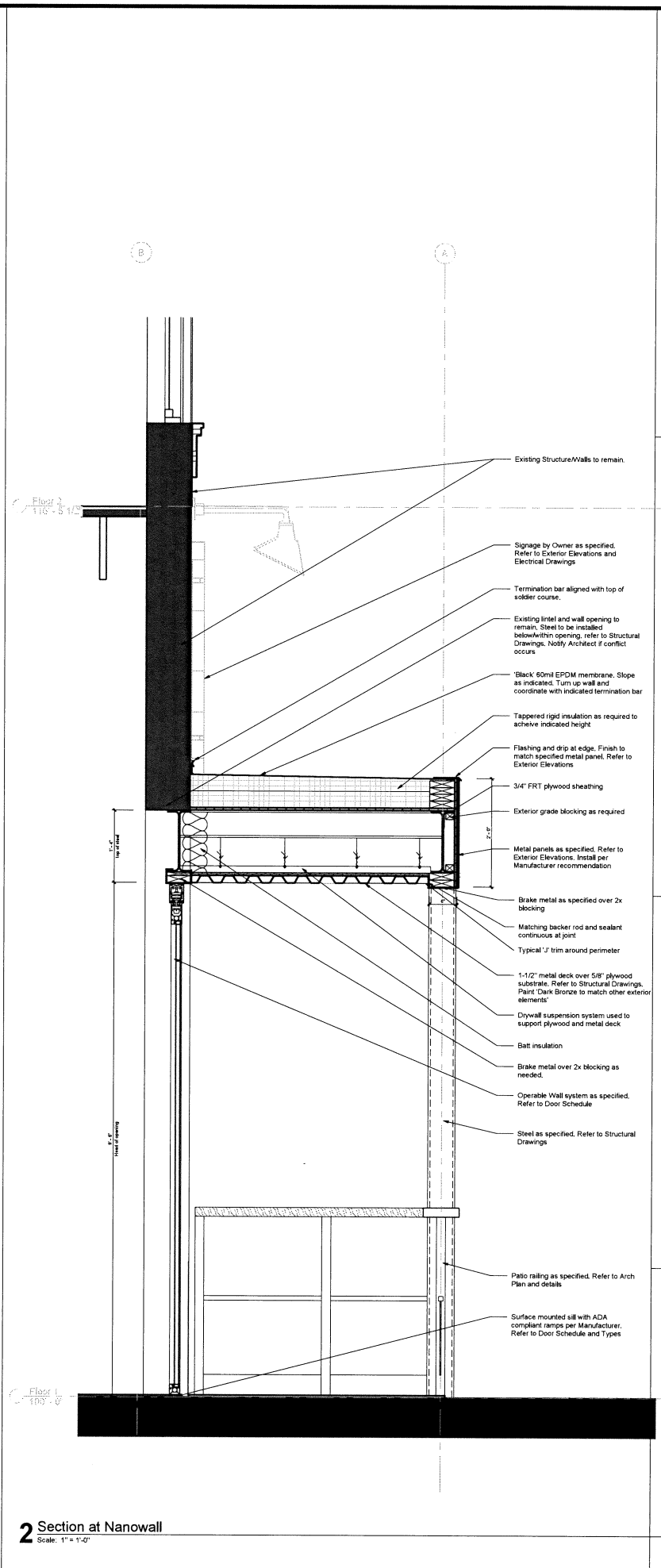
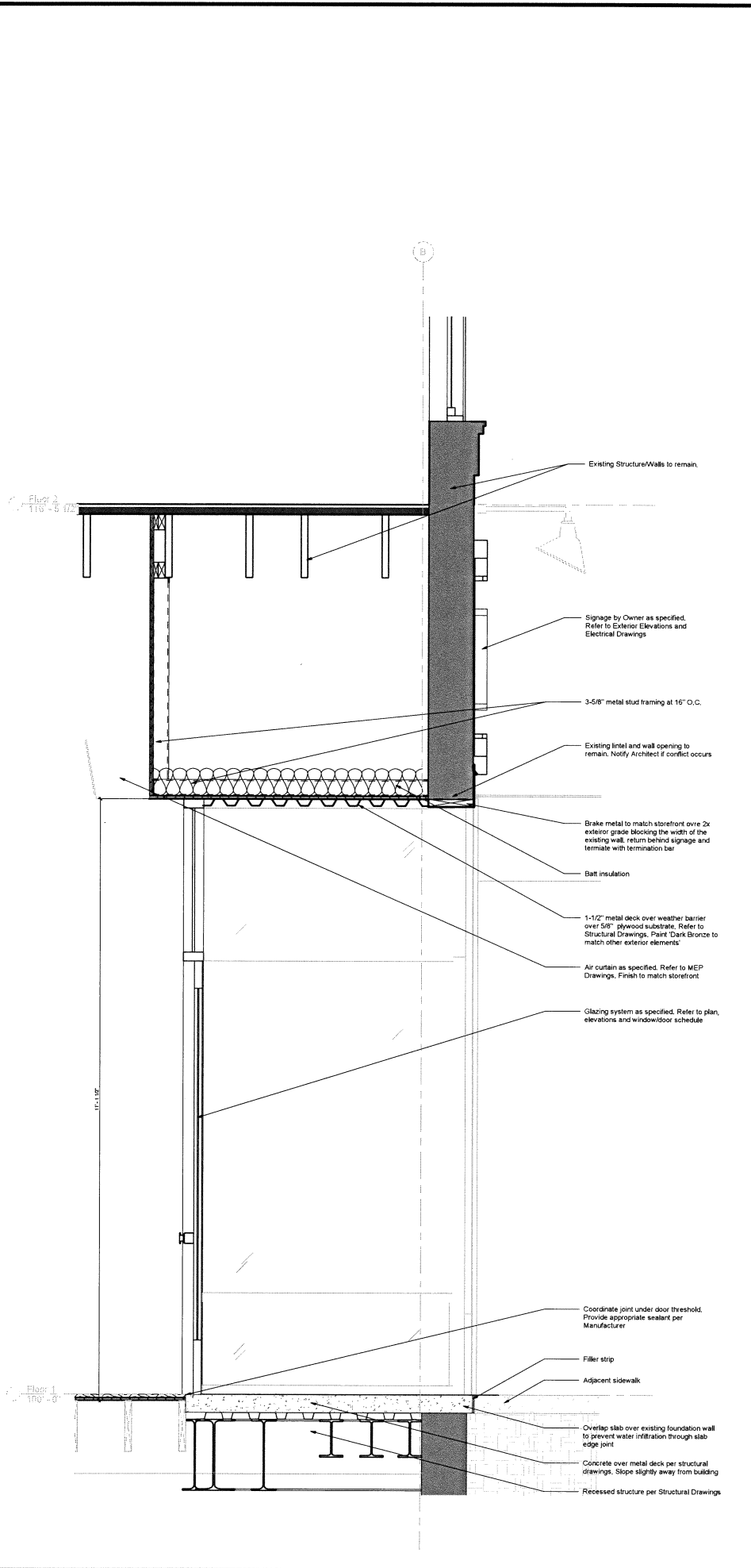
INITIAL ISSUE DATE
3/19/2021

PROJECT NO.
1197.04

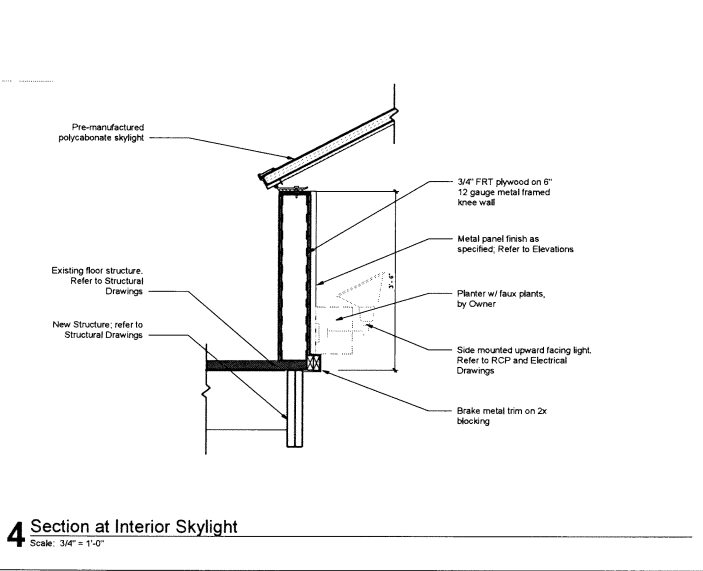
Exterior Elevations
A4

3/9/2021 2:05:23 PM

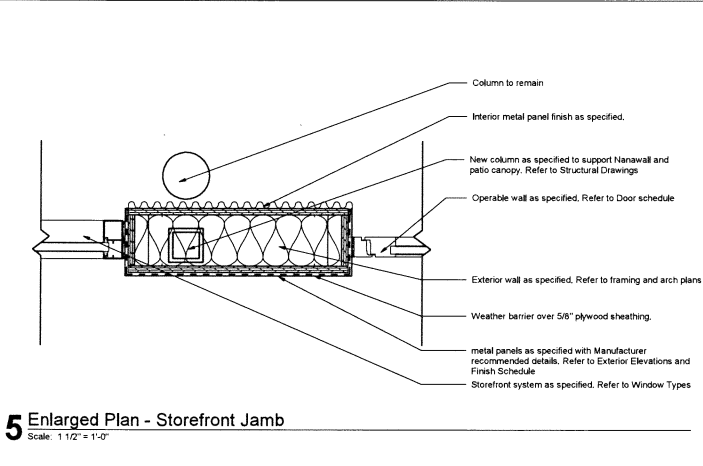
© 2021 - All Rights Reserved. No portion(s) of this document may be reproduced without written approval of Design Collective.



3 Section at Exterior Skylight
Scale: 3/4" = 1'-0"



4 Section at Interior Skylight
Scale: 3/4" = 1'-0"



5 Enlarged Plan - Storefront Jamb
Scale: 1 1/2" = 1'-0"

Design Collective

OWNER
Rise Brands
134 East Long St.
Columbus, Ohio 43215
Tel: (614) 754-7522
Matt Dunlap
matt@risebrands.com

ARCHITECT
Design Collective Architecture
151 East Nationwide Blvd.
Columbus, Ohio 43215
Tel: (614) 464-2880
Randy Robery
rrobery@collective.com

STRUCTURAL ENGINEER
Jezzerac Geers and Associates
5640 Frantz Rd.
Dublin, Ohio 43017
Tel: (614) 766-0066
Robert Vucich
rvucich@jgaeng.com

MEP ENGINEER
Prater Engineering Associates
6130 Wilcox Rd.
Dublin, Ohio 43017
Tel: (614) 766-4896
Jack Evans
jackevans@pratereng.com

LANDLORD
My Place Group
2019 Center St., Suite 101
Cleveland, Ohio 44113
Tel: (216) 544-3822
Chad Kerfesz
chad@myplacecleveland.com

GENERAL CONTRACTOR
TBD

PROJECT STATUS
Permit Set

Randy Robery, License # 1519422
Expiration Date: December 31, 2021

IBB BIT
PINS
Rise Brands
Pins/16 Bit, Cleveland, Ohio City
Rise Brands
1880 W 25th St.
Cleveland, Ohio 44113 (Cuyahoga County)

REVISIONS

#	Description	Date

INITIAL ISSUE DATE
3/19/2021

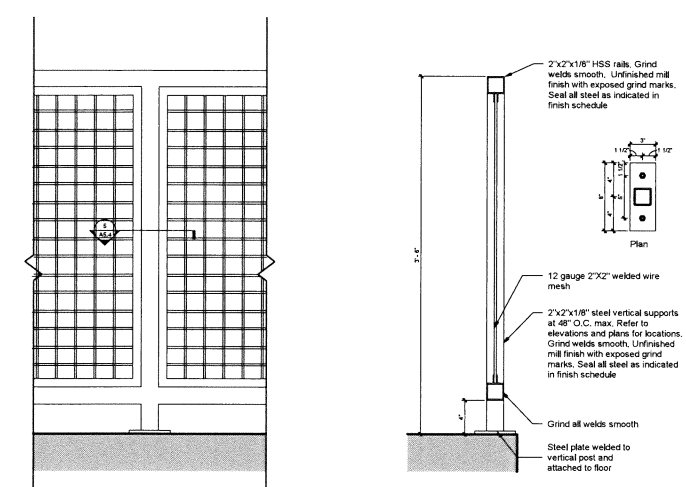
PROJECT NO.
1197.04

Details - Walls

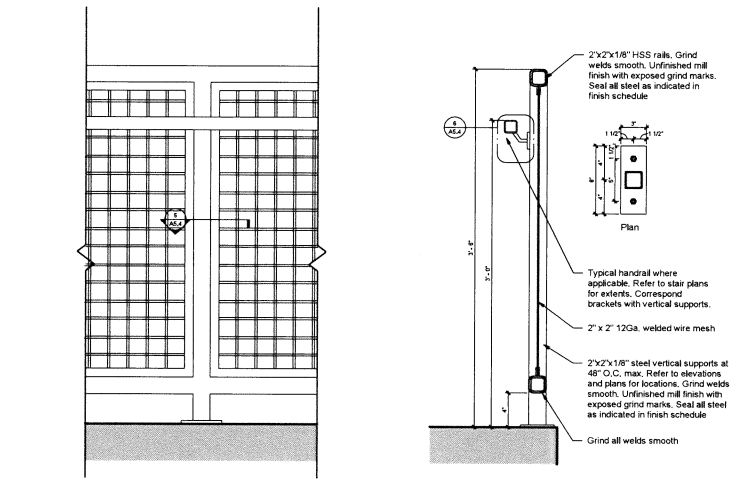
A5.1

3/19/2021 2:06:42 PM

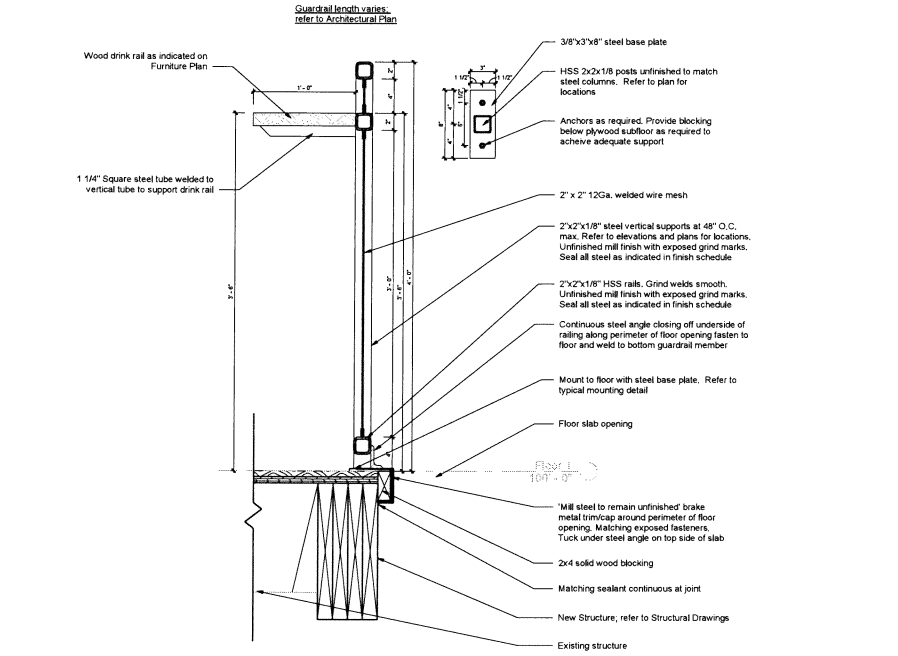
© 2021 - All Rights Reserved. No portion(s) of this document may be reproduced without written approval of Design Collective



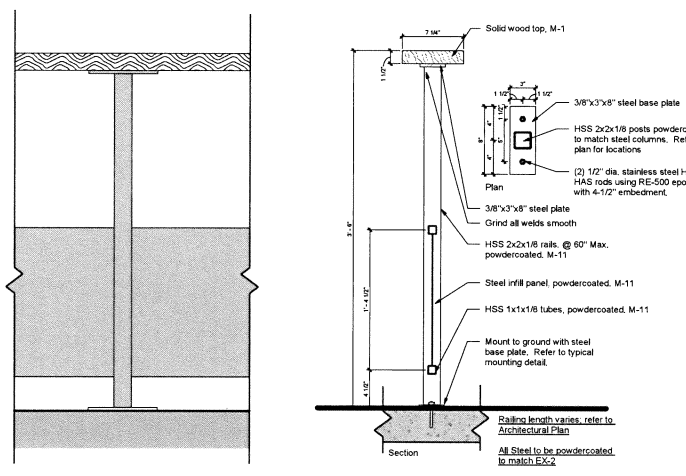
1 Typical Guardrail
Scale: 1 1/2" = 1'-0"



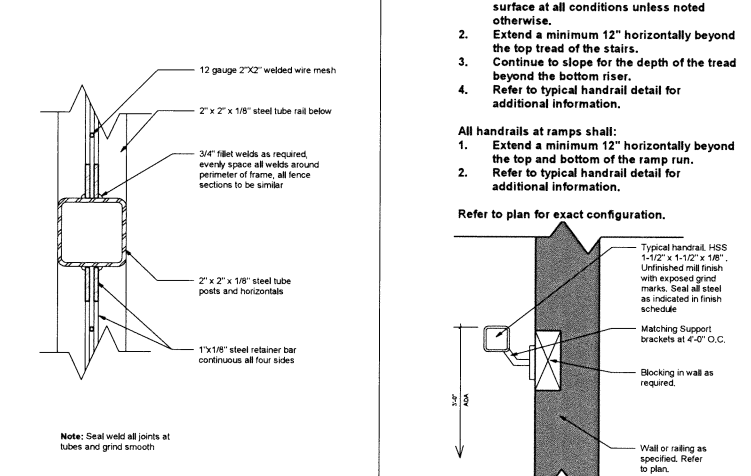
2 Typical Handrail / Guardrail
Scale: 1 1/2" = 1'-0"



3 Typical Section at Opening
Scale: 1 1/2" = 1'-0"



4 Patio Railing
Scale: 1 1/2" = 1'-0"



5 Typical Railing and Cage Detail
Scale: 6" = 1'-0"

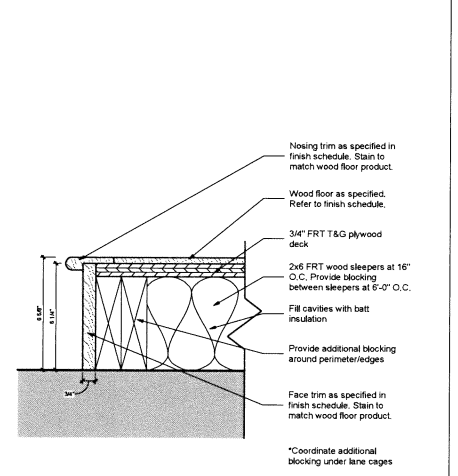
All handrails at stairs, where not continuous to the next flight of stairs, shall:

1. Handrails shall return to the walking surface at all conditions unless noted otherwise.
2. Extend a minimum 12" horizontally beyond the top tread of the stairs.
3. Continue to slope for the depth of the tread beyond the bottom riser.
4. Refer to typical handrail detail for additional information.

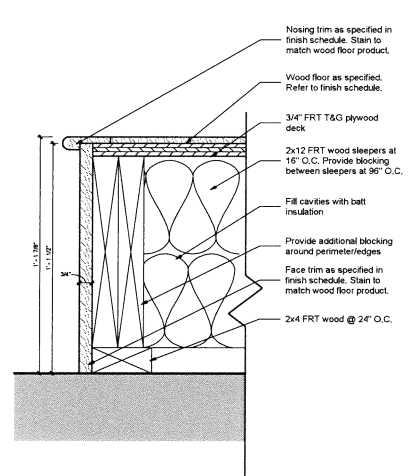
All handrails at ramps shall:

1. Extend a minimum 12" horizontally beyond the top and bottom of the ramp run.
2. Refer to typical handrail detail for additional information.

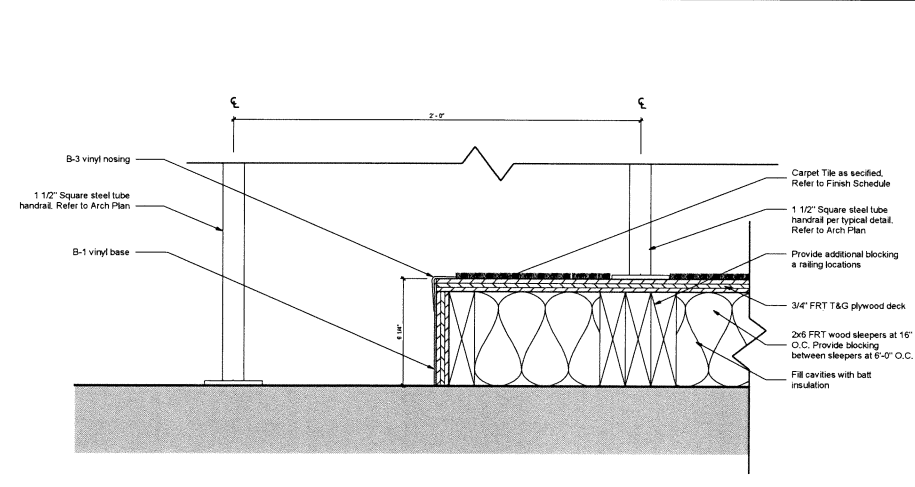
Refer to plan for exact configuration.



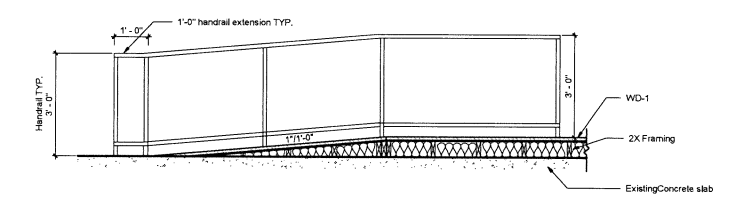
7 Raised Platform - Wood Floor
Scale: 3" = 1'-0"



8 High Platform Section
Scale: 3" = 1'-0"



9 Raised Platform - Carpeted Floor
Scale: 3" = 1'-0"



10 Lanes - ADA Ramp
Scale: 1/2" = 1'-0"

Design Collective

OWNER
Rise Brands
 134 East Long St.
 Columbus, Ohio 43215
 Tel: (614) 754-7522
 Matt Dunlap
 matt@risebrands.com

ARCHITECT
Design Collective Architecture
 151 East Nationwide Blvd.
 Columbus, Ohio 43215
 Tel: (614) 464-2880
 Randy Roberty
 rroberty@dccollective.com

STRUCTURAL ENGINEER
Jetermac Geers and Associates
 5640 Frantz Rd.
 Dublin, Ohio 43017
 Tel: (614) 766-0066
 Robert Varch
 rvarch@jgeng.com

MEP ENGINEER
Praire Engineering Associates
 5130 Wilcox Rd.
 Dublin, Ohio 43017
 Tel: (614) 766-4896
 Jack Evans
 jackevans@praireengr.com

LANDLORD
My Place Group
 2019 Center St., Suite 101
 Cleveland, Ohio 44113
 Tel: (216) 544-3822
 Chad Kertesz
 chad@myplacecleveland.com

GENERAL CONTRACTOR
 TBD

PROJECT STATUS
Permit Set

Randy Roberty, License #1816427
 Expires 12/31/2021

REVISIONS

#	Description	Date

INITIAL ISSUE DATE
 3/19/2021

PROJECT NO.
 1197.04

Details -
 Railings/Platforms

A5.4

3/30/2021 2:06:12 PM

CONSENT TO INTRODUCE LEGISLATION
BY REQUEST


I hereby consent to introduction of legislation in my name by request for the following:

An Emergency Ordinance

Authorizing the Director of Capital Projects to issue a permit to Pins / 16-Bit to encroach into the public right-of-way of West 25th Street by installing, using and maintaining two metal canopies supported by four metal columns as well as metal railings with wood caps to create an outdoor space for patrons at 1880 West 25th Street 44113.

2/14/22

Dated:



The Honorable Kerry McCormack
Councilmember – Ward 3



Mayor's Office of Capital Projects

Date: February 16, 2022

To: Mark D. Griffin, Chief Legal Counsel
Department of Law

From: James D. DeRosa, Interim Director
Mayor's Office of Capital Projects

Re: Request for Encroachment Legislation

We are requesting an Ordinance be prepared authorizing the Director of Capital Projects to issue a permit to The Goat My Place, LLC to encroach into the public right-of-way of West 25th Street by installing, using and maintaining two metal canopies supported by four metal columns as well as metal railings with wood caps.

An electronic draft copy will be emailed to your Department to facilitate the processing of this request.

If you have any questions please contact Eric Westfall, Survey Department 664-3780, Thank you.

JD/ebw

Cc: Ryan Puente, Chief Government Affairs Officer
Elise Hara Auvil, Chief Administrative Officer
Bradford J. Davy, Chief Strategy Officer
Bonnie Teeuwen, Chief Operating Officer
Richard Switalski, Administration Bureau Manager, Division of Engineering & Const.
Eric Westfall, Plats and Surveys Section (Acting)
Meredith Carey, Legislative Liaison
Nancy Lanzola, Department of Law